

# PRE-BID CONFERENCE



**Malolos-Clark Railway Project (Blumentritt Extension) and South Commuter Railway Project for Packages CP S-01 and CP S-02**

08 January 2021

# Presentation Outline

## 1. Introduction & Project Features

- i. Alignment, Stations and Key Features
- ii. Constraints and Interfaces

## 2. Procurement Process

- i. Governing Rule: ADB Guideline
- ii. Bid and Contract Method
- iii. Procurement Timeline
- iv. Communication Protocol
- v. Key Qualification & Criteria
- vi. Evaluation Criteria

## 3. Common Bidding Mistakes and Pointers for Bidders

## 4. Q & A Session

# Disclaimer

- ITB 6.4. *"The bidder is expected to examine all instructions, forms, terms, and specifications in the Bidding Documents, and to furnish with its Bids all information and documentation as is required by the Bidding Documents"*
- Any statement made at the Pre-Bid Conference does not modify the terms of the Bidding Documents, unless such statement is specifically identified in writing as an official Addendum through a Bid Bulletin.
- The Pre-Bid Conference is also an opportunity for the prospective Bidders to request for clarifications about the Bidding Documents. However, such request must be followed up in writing and BAC will respond in writing by issuing Bid Bulletins uploaded to the websites of PS-DBM, DOTr and PNR as follows:

[www.ps-philgeps.gov.ph](http://www.ps-philgeps.gov.ph)

[www.dotr.gov.ph](http://www.dotr.gov.ph)

[www.pnr.gov.ph](http://www.pnr.gov.ph)

# INTRODUCTION & PROJECT FEATURES



# Alignment, Stations and Key Features



# Overview of NSCR Project and Extensions

**Malolos to Clark Railway Project (MCRP) a.k.a.**

**NSCR-Clark Extension**  
(PNR Clark Phase 2)

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North-South Commuter  
Railway (NSCR)  
(PNR Clark Phase 1)  
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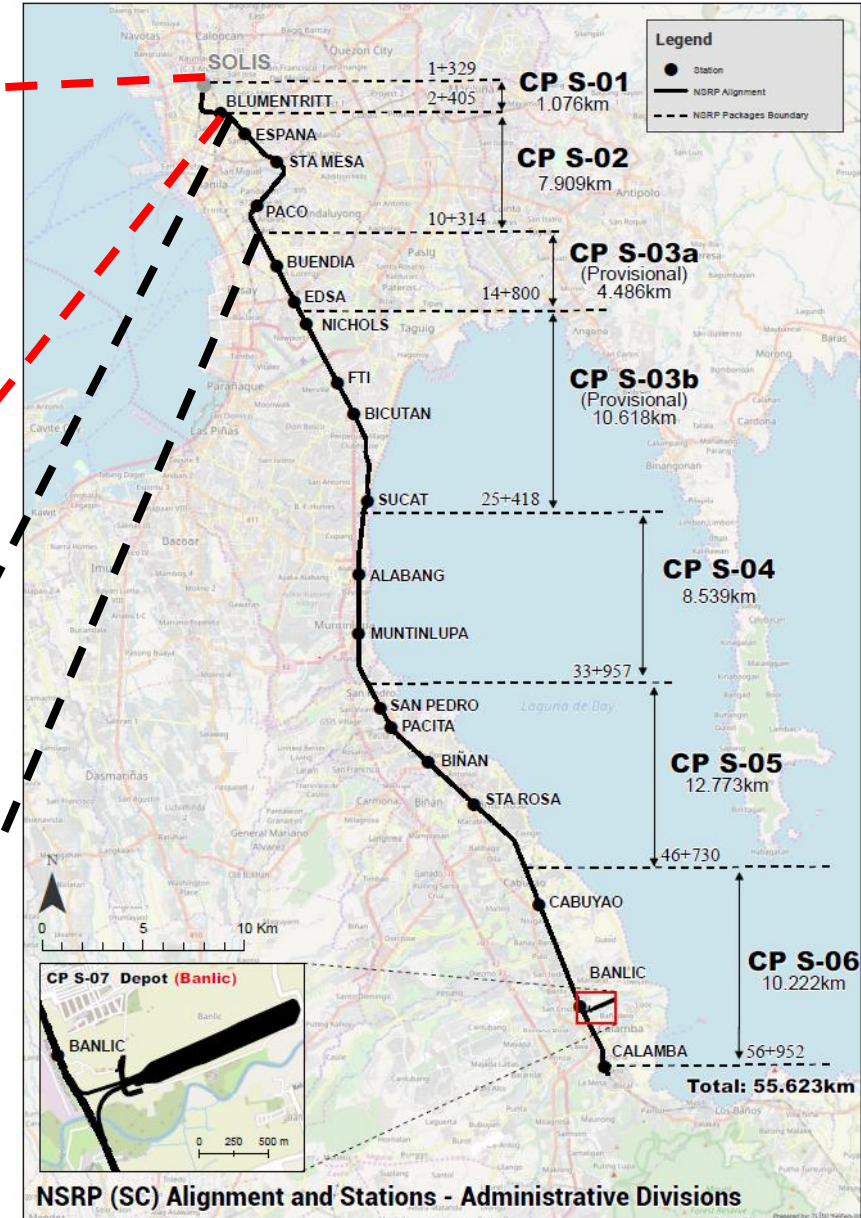
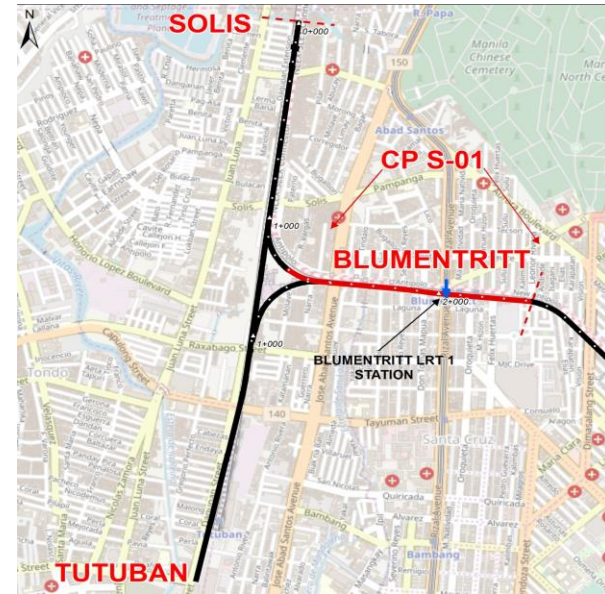
**NSCR-Calamba Extension**  
(PNR Calamba)



# Overview of CP S-01 and CP S-02

**Package CP S-01** – Building and Civil Engineering Works for approximately **1.2 km of railway viaduct structure** including elevated stations at **Blumentritt**.

**Package CP S-02** – Building and Civil Engineering Works for approx. **7.9 km of railway viaduct structure** including **THREE (3) elevated stations** at **España, Santa Mesa and Paco**.



# Overview of Contract Packages for CP S-01 and CP S-02

Contract Package	Contract Period (Month)	Length / Area			Elevated Station(s)
		Total (km)	Viaduct (km)	At grade (km)	
CP S-01	48	1.1	1.1	0	Blumentritt
CP S-02	53	7.90	7.5	0.4	España Sta Mesa Paco



# Typical Stations Exterior Views



**Exterior View of elevated station**



# Typical Station Interior Views and Facilities



**PLATFORM**

## Station Facilities

- E&M System Room (Signaling, Telecom, AFC, PSD)
- Station Office / Customer Service
- Security Room / First Aid Room
- AFC Gate / TVM / Security Check point
- Male / Female / Multipurpose Toilet
- Domestic / Fire Water Tank
- Railway / Station Electrical Room
- Generator Room

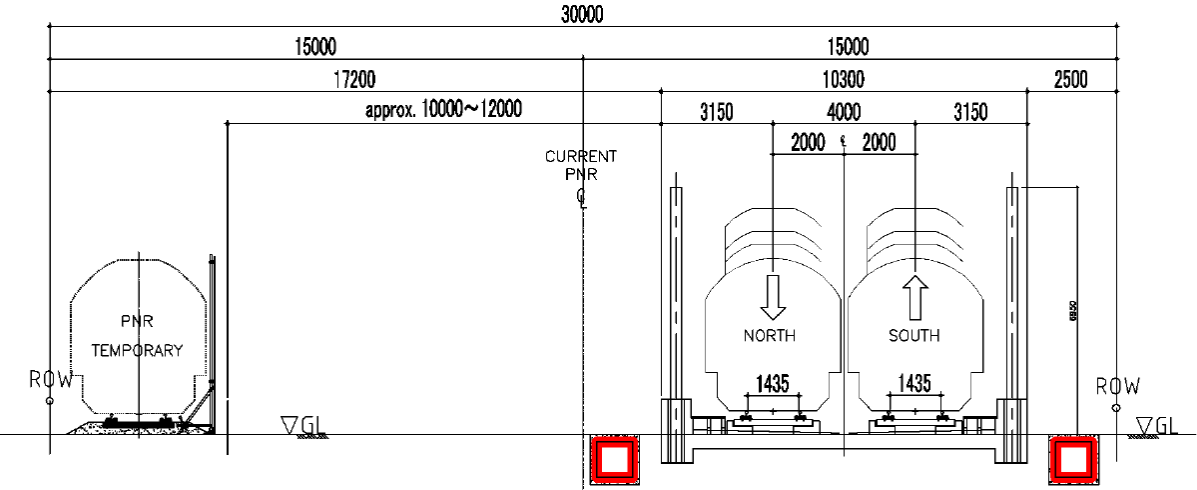
## Interior View of Elevated Station



**CONCOURSE**

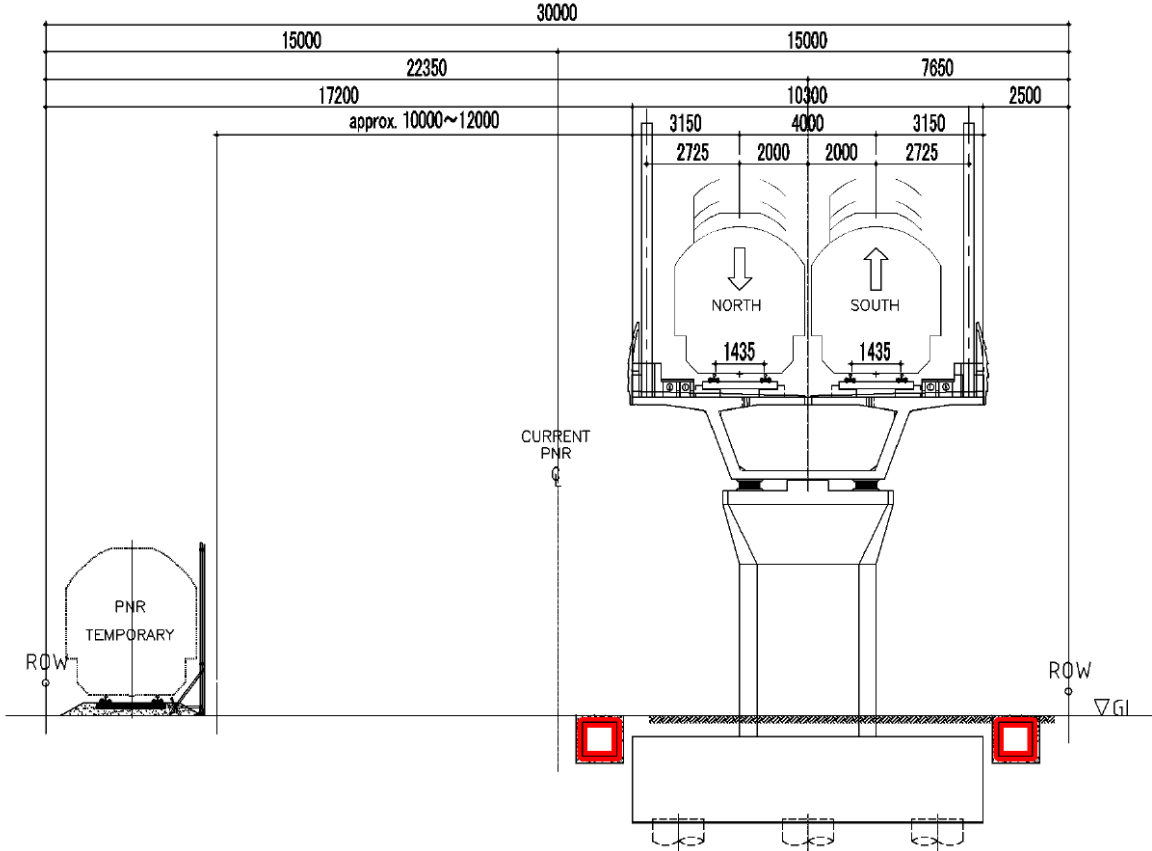


# Typical Sections of As-grade/Viaduct Section



Source: JICA Design Team

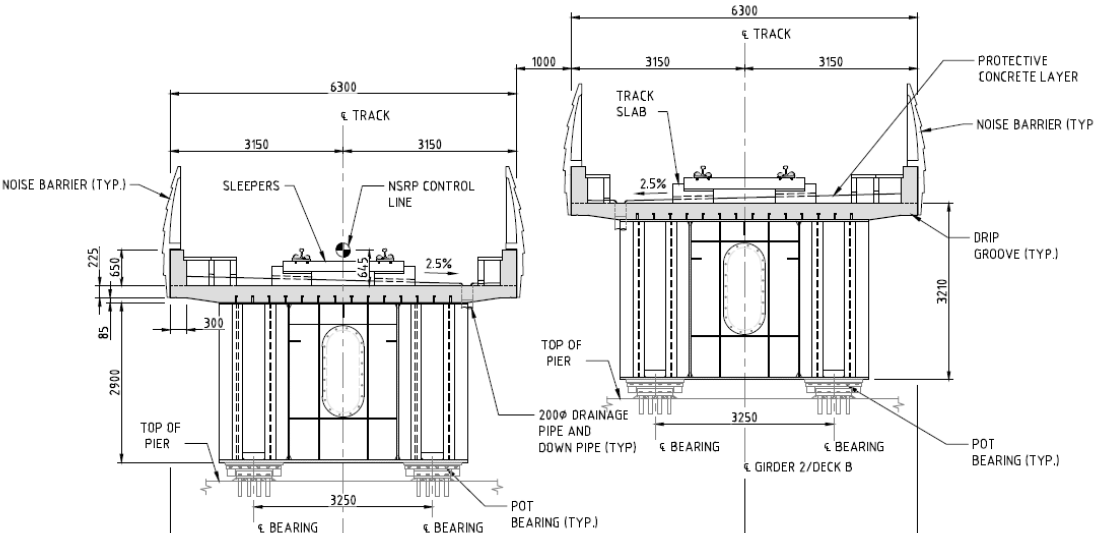
**Typical At-grade Section**



Source: JICA Design Team

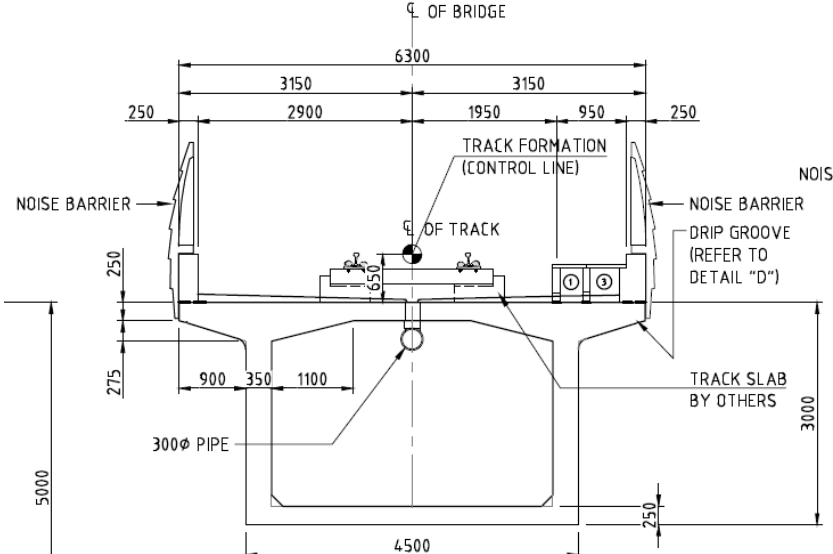
**Typical Viaduct Section**

# Typical Cross Section of Different Types of Bridge



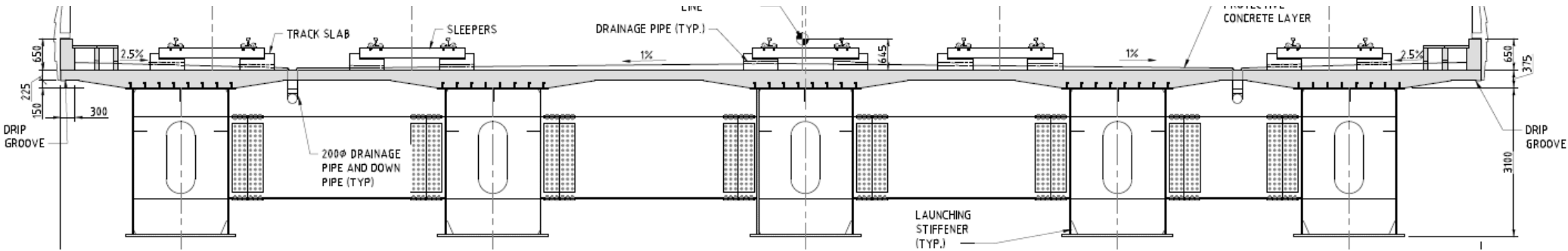
**Cross Section**

**Steel Box Girder Bridge – BR200**



**Cross Section**

**Balanced Cantilever Bridges (BC-04/05/06)**



**Cross Section**

**Steel Box Girder Bridge – BR203 (Incrementally Launched)**



# CONSTRAINTS AND INTERFACES



# Constraints and Interfaces

1. ***PNR Continuing Operations***
2. ***Canal Diversion***
3. ***Road Realignment (Old Antipolo Street)***
4. ***Viaduct Construction over LRT-1 Blumentritt Station***
5. ***NLEX - SLEX Connector Road***
6. ***PNR Pasig River Bridge***
7. ***Nagtahan Link & Metro Manila Skyway Stage 3***

# PNR CONTINUING OPERATIONS

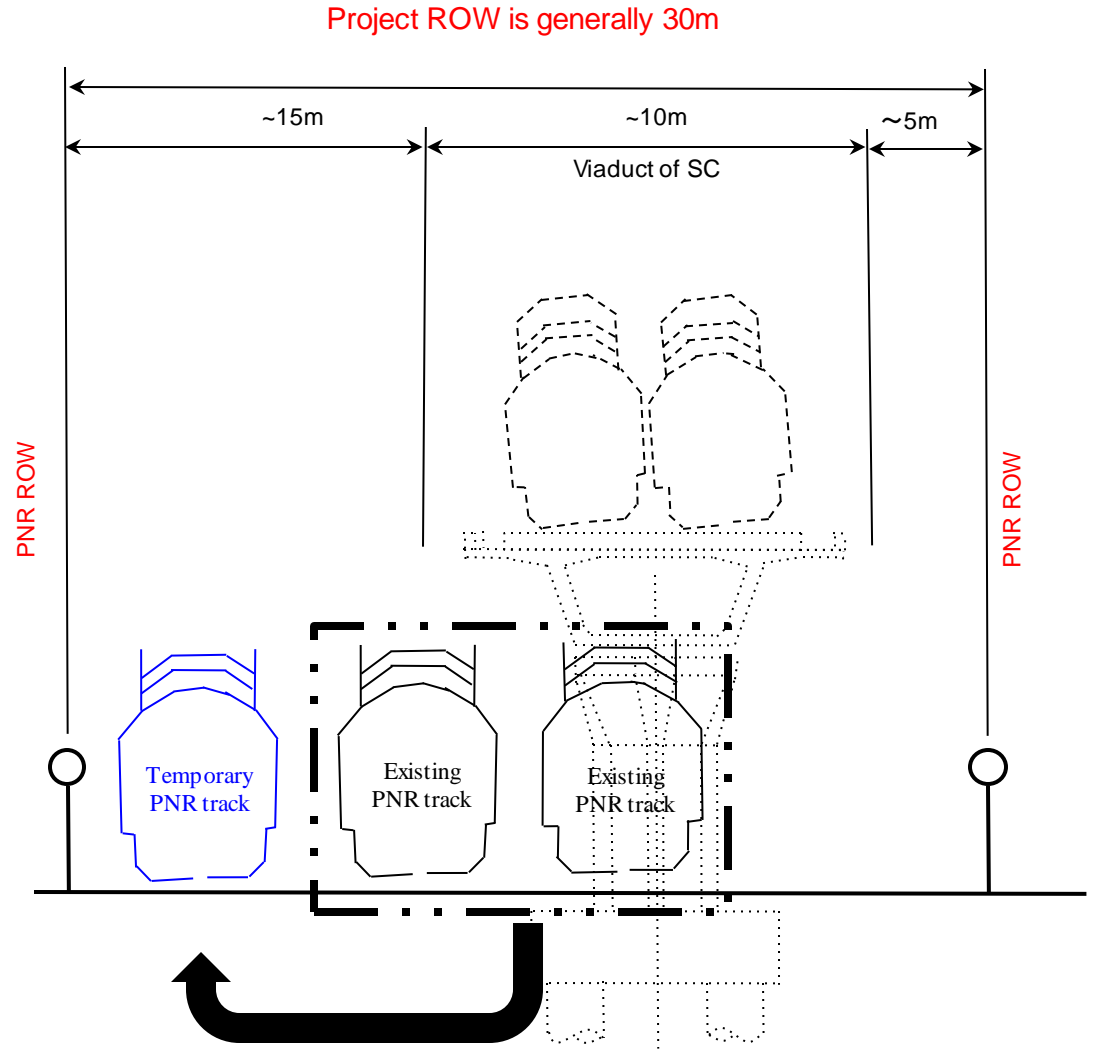






# Interfacing with Existing PNR Line

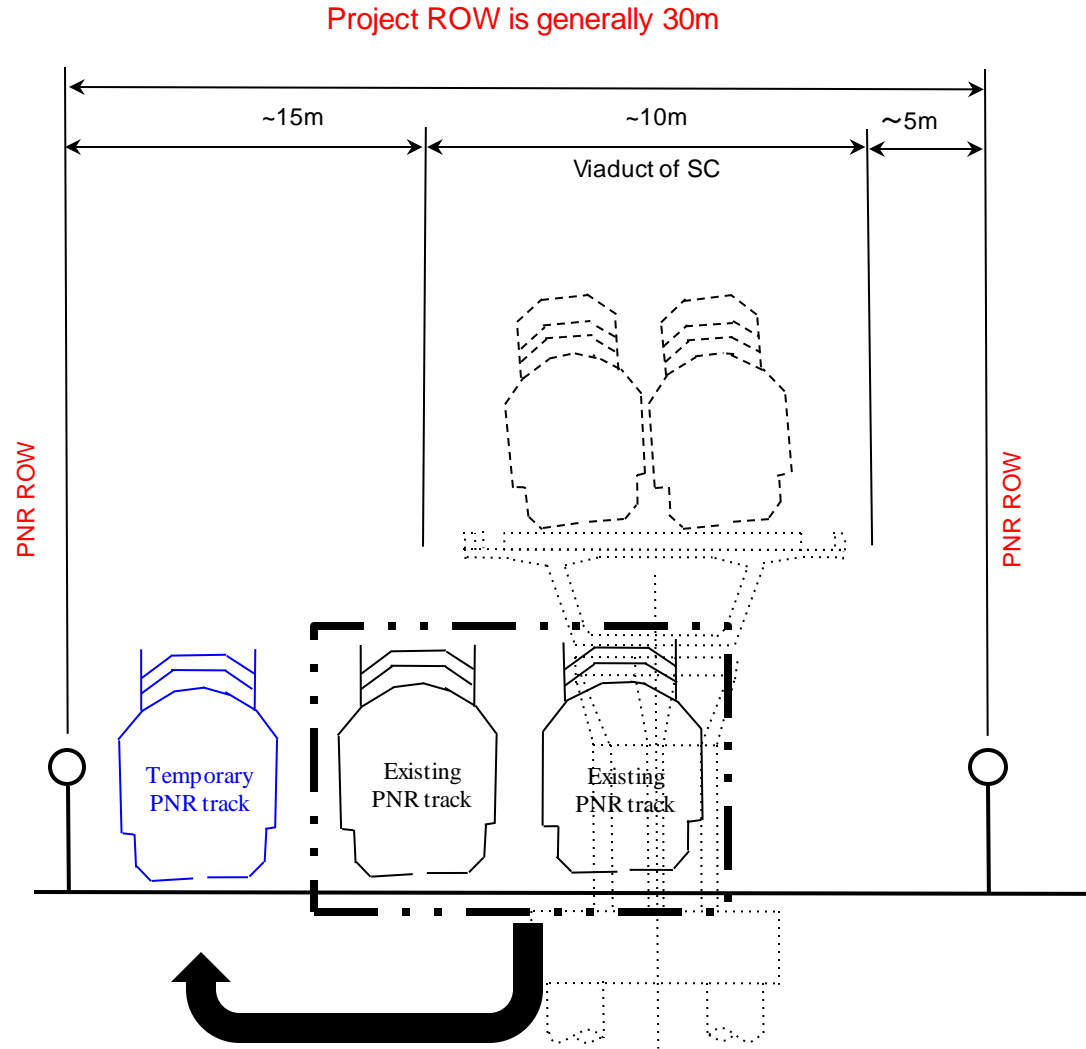
- The existing PNR is running parallel along the SC alignment.
- Construction shall be implemented without interruption of existing PNR operation.
- Existing PNR tracks will be temporarily relocated within the Project ROW. PNR operations will maintain a single track operation utilizing the “Temporary PNR Track” during the construction period.
- The PNR Track relocation works will be carried out by others.



**Typical Interfacing Section of SC and PNR**

# Interfacing with Existing PNR Line

- Activities in the vicinity of any PNR line shall be carefully planned and applications for permission to carry out activities shall be submitted to PNR. The activities shall only be carried out after permission is obtained from the PNR and the Engineer.
- Safety considerations shall be adopted for planning and carrying out activities in railway protection and safety zones.
- Refer to GS 131 for further information on Works in the Vicinity of Existing Operating PNR Line

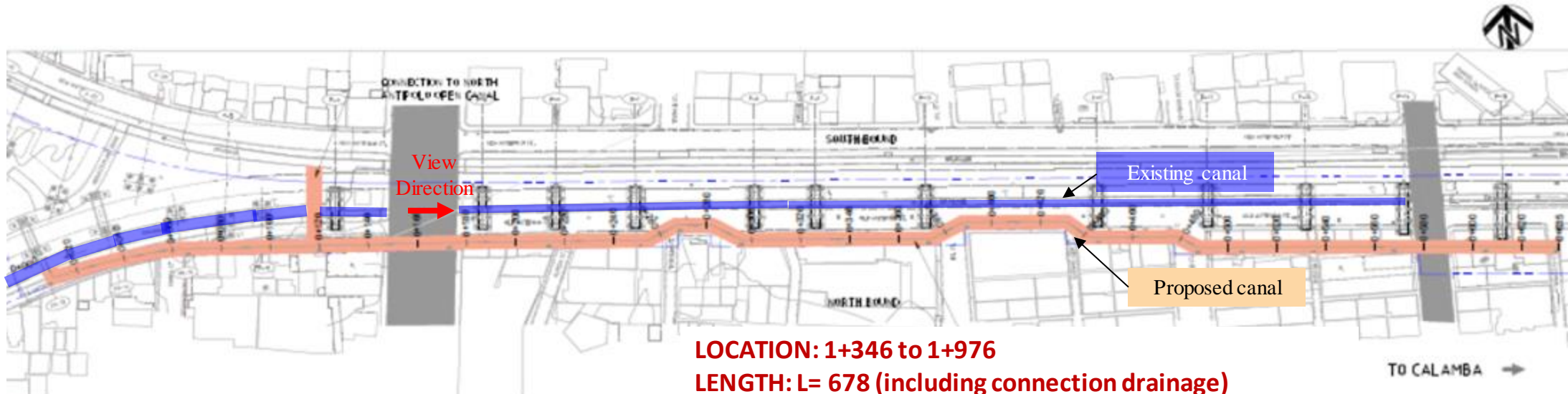


**Typical Interfacing Section of SC and PNR**

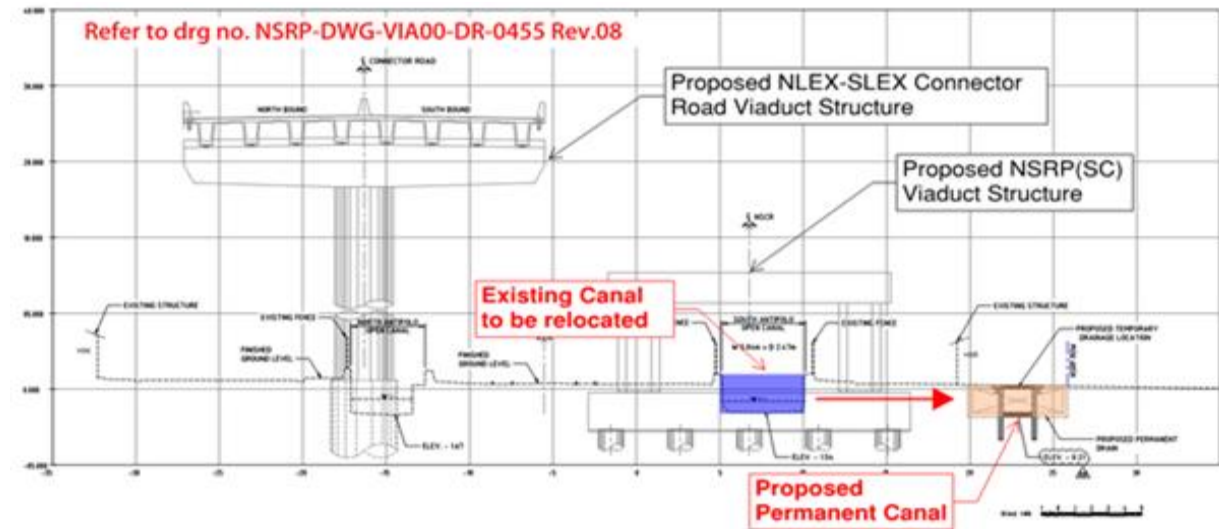
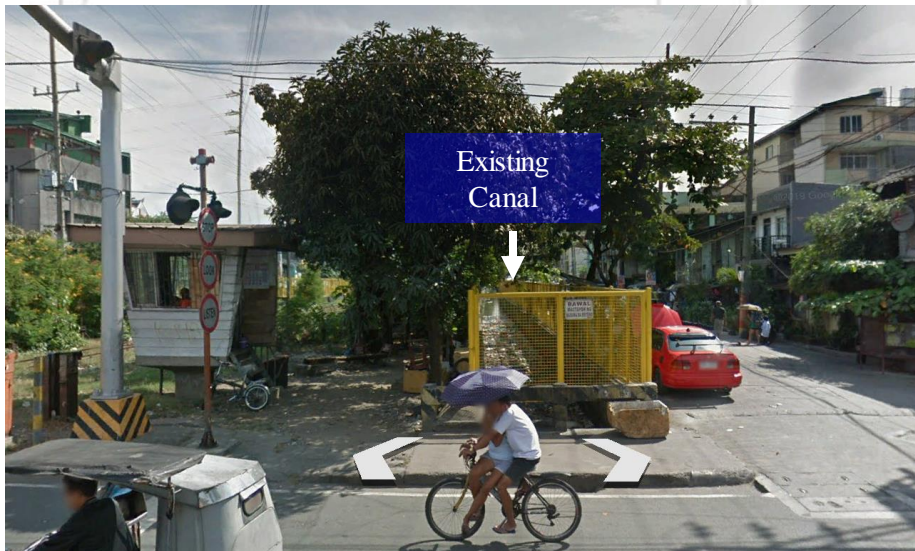
# CANAL DIVERSION



# Canal Diversion



**LOCATION: 1+346 to 1+976**  
**LENGTH: L= 678 (including connection drainage)**  
**CANAL SIZE: W2cells x 2.55m x D1.20 to 1.80m**

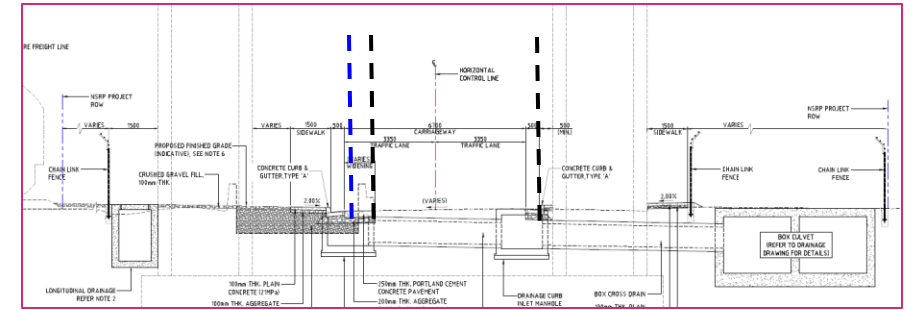
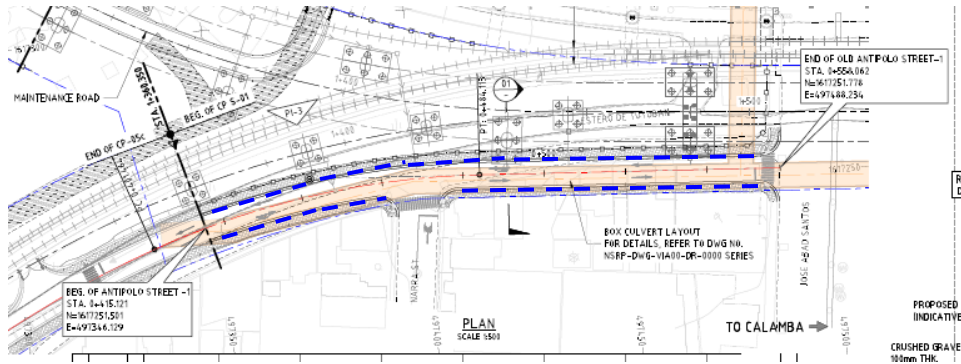


# ROAD REALIGNMENT

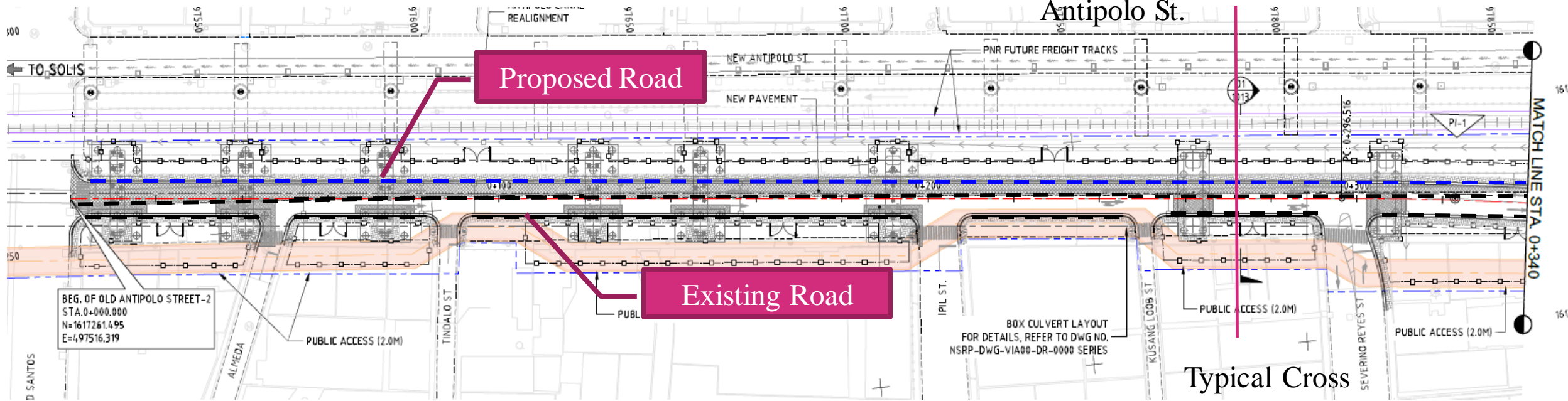


# Road Realignment (Old Antipolo Street)

- 530m of Old Antipolo Street shall be permanently relocated at the CPS01 Section



Typical Cross Section of Old Antipolo St.

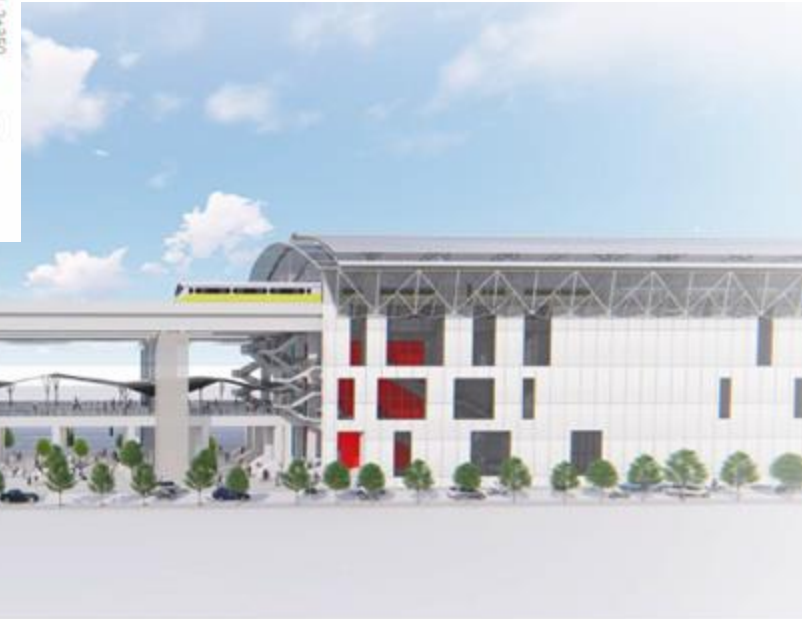
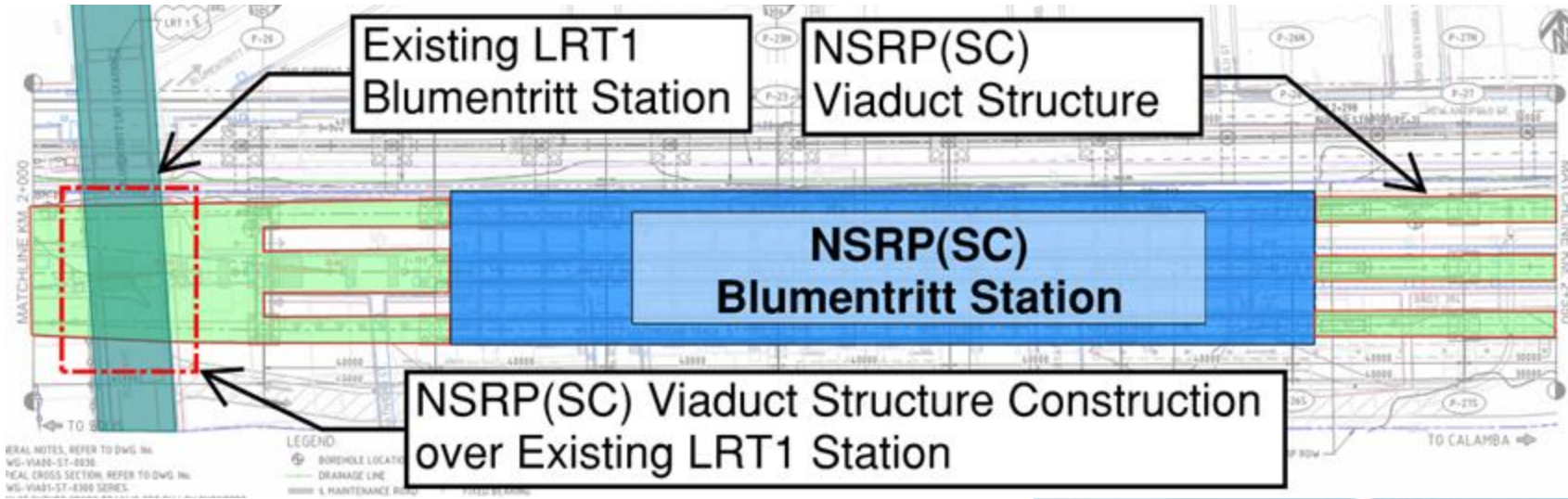


Typical Cross Section

# VIADUCT CONSTRUCTION OVER LRT-1 BLUMENTRITT STATION



# Viaduct Construction over LRT-1 Blumentritt Station



## Notes:

The height of Bridge  $t = 23.5\text{m}$ .

The span length  $= 65.0\text{m}$

The type of bridge  $=$  Steel Girder

The method  $=$  Incrementally Launching



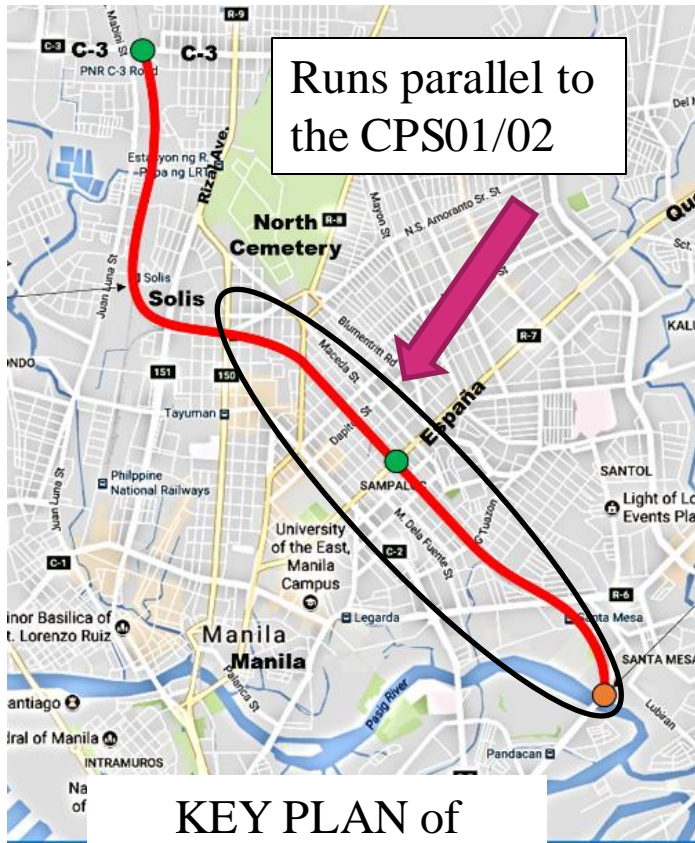


# NLEX-SLEX CONNECTOR ROAD

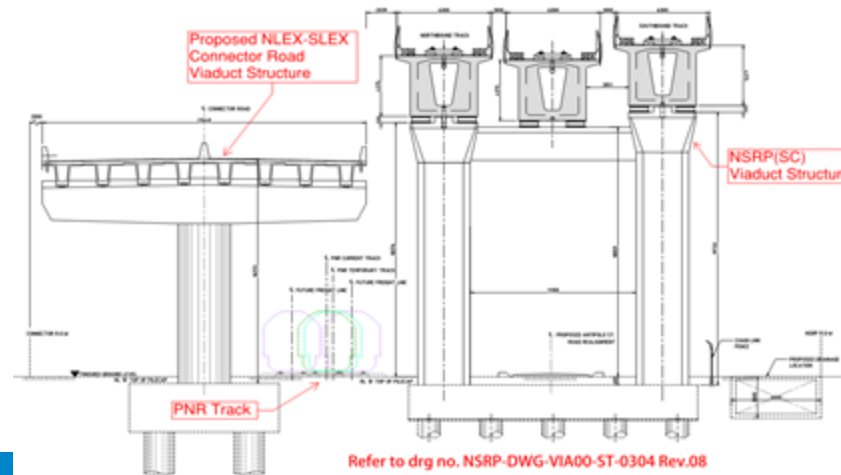
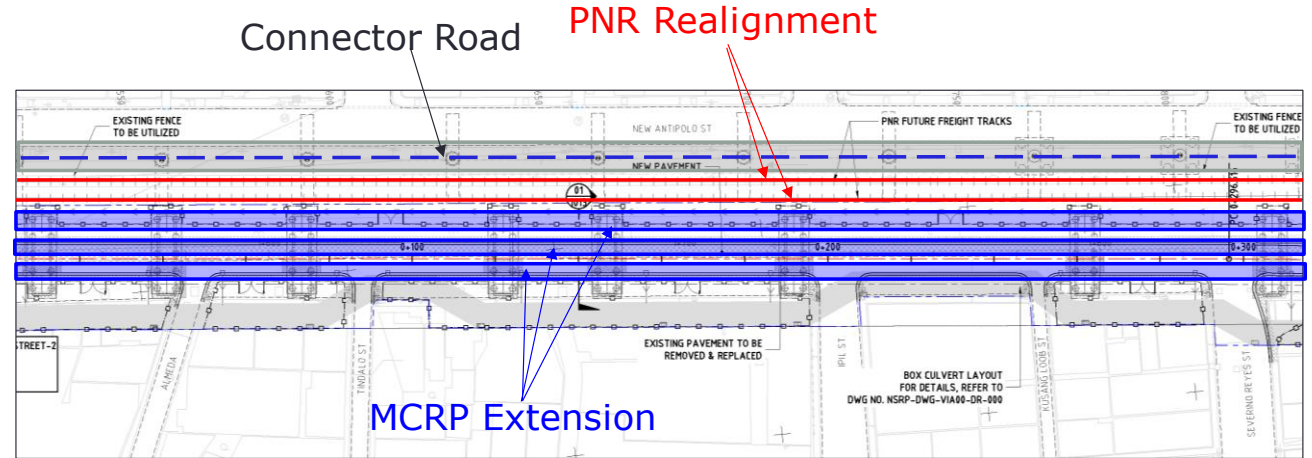


# NLEX-SLEX Connector Road

- NLEX-SLEX Connector Road runs parallel to the CP S-01 /02 alignment.
- The Connector Road would also be under construction during CP S-01/ 02 construction.
- Contractor would have to maintain close liaison with the NLEX-SLEX Contractor.



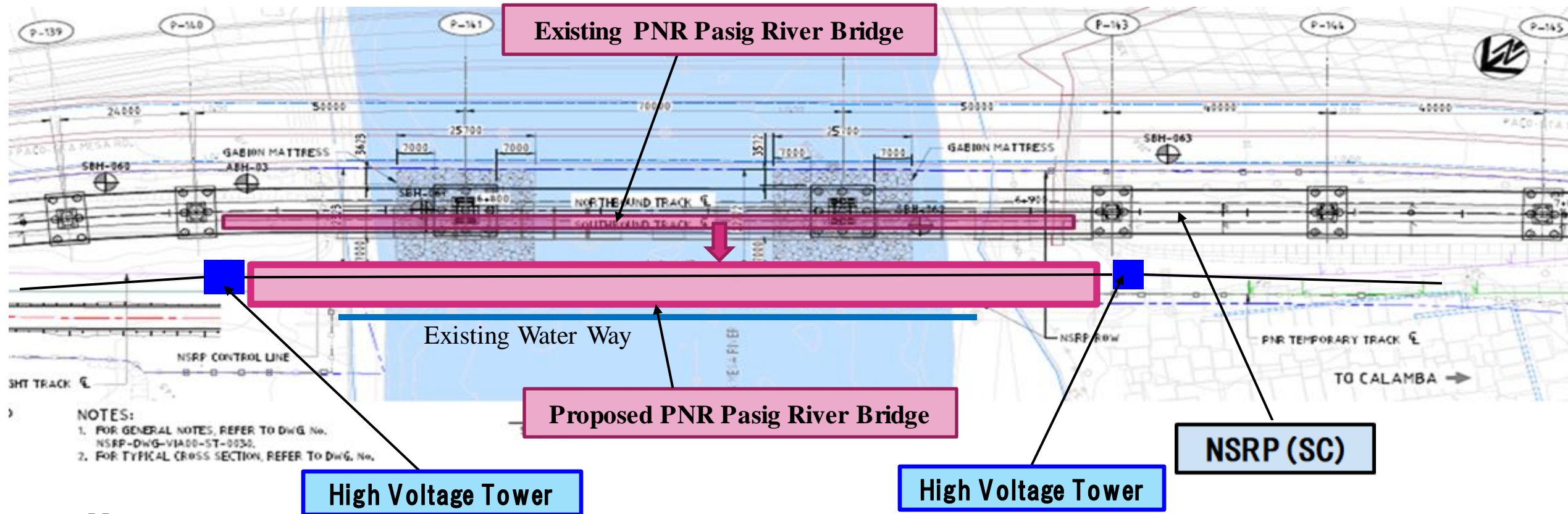
KEY PLAN of Connector Road



# PNR PASIG RIVER BRIDGE



# PNR Pasig River Bridge



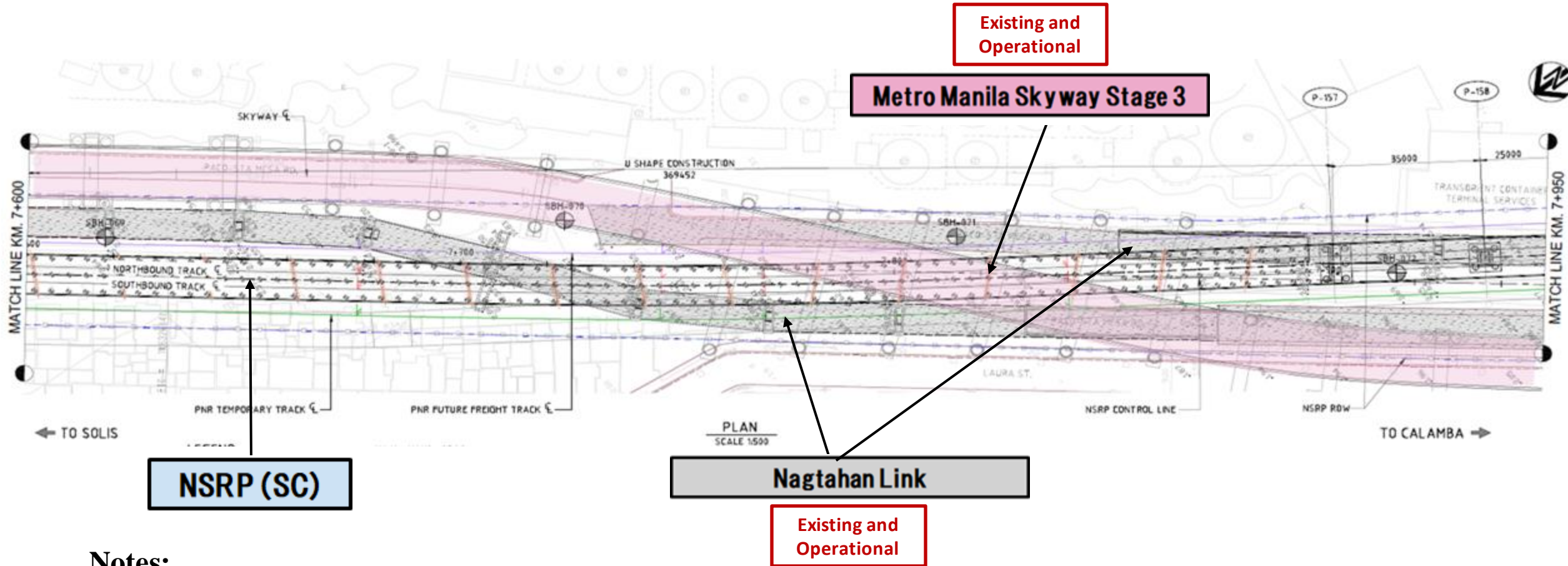
## Notes:

1. Proposed bridge is located same alignment as the existing PNR bridge.
2. PNR bridge shall be removed prior to construction of new bridge.
3. High Voltage Towers shall be removed prior to construction of PNR track shifting

# NAGTAHAN LINK & METRO MANILA SKYWAY STAGE 3



# Nagtahan Link & Metro Manila Skyway Stage 3



## Notes:

1. Proposed at grade section is conflicted with the existing Nagtahan Flyover.
2. Removal of Nagtahan Flyover must be taken prior to construction.

# PROCUREMENT PROCESS



# Governing Rules

- **PROCUREMENT: APPROACH/TYPE OF PROCUREMENT**
  - Follow ADB guidelines for procurement of Civil Works



- **APPLICABLE DOCUMENTS FOR BIDDING PROCEDURES**





# Bid & Contract Method

Item	Description
<b>Bidding System</b>	Open Competitive Bidding Single-Stage One-Envelope Bidding (without Pre-qualification procedure)
<b>Eligible Nationality of Bidder</b>	Prime Contractor / JV Partners / Sub-contractors : ADB Eligible Countries
<b>Contract Type</b>	Designed by the Employer Admeasurement Unit Price Contract
<b>Procurement Guideline</b>	Procurement Regulations for ADB Borrowers, 2017
<b>Applicable General Conditions of Contract</b>	FIDIC Conditions of Contract for Construction Designed by the Employer: Multilateral Bank Harmonized Edition, 2010 (FIDIC-Pink Book)
<b>Eligible Countries for Procurement of Goods and Services</b>	ADB Eligible Countries

# PROCUREMENT TIMELINE



# Procurement Timeline



## Note:

Bidders may request Site Visits in accordance with ITB 7.2 and ITB 7.3.

# SITE VISIT



# Request for Site Visit to PNR Facility

- Submit **Confirmation Form** via fax and email at least **three (3) working days** before the desired date and time to PNR.

Mr JUNN B. MAGNO  
 THE GENERAL MANAGER  
 PNR Executive Building (Tutuban Station)  
 Mayhaligue Street  
 Tondo, Manila 1000, Philippines  
 Telephone No.: (+63 2) 8319 0041  
 Facsimile No.: (+63 2) 8563 9361  
 E mail Address: pnr.pms2019@gmail.com

*\*Requested date will still be subject for approval.*

- A maximum of **8 representatives** per Bidder will be allowed to join the site visit
- Refer to **Attachment 2 – Guidelines for the Site Visit** and **Attachment 3 – Request for Permission for a Site Visit** of Bid Data Sheet for details

Attachment 3 to the Bid Data Sheets  
 Site Visit – CP S-04 Building and Civil Engineering Works

Request for Permission for a Site Visit

Bidder's Name: \_\_\_\_\_

The Bidder hereby requests permission for the following authorized representative/s to conduct the site visit for the above-mentioned project and undertakes to abide by the Guidelines for the Site Visit as provided by DOTr-PNR.

List of Personnel to Enter the Facility (Maximum of eight (8) representatives per Bidder)

No.	Name	Designation	e-Mail Address	Contact No.
1				
2				
3				
4				
5				
6				
7				
8				

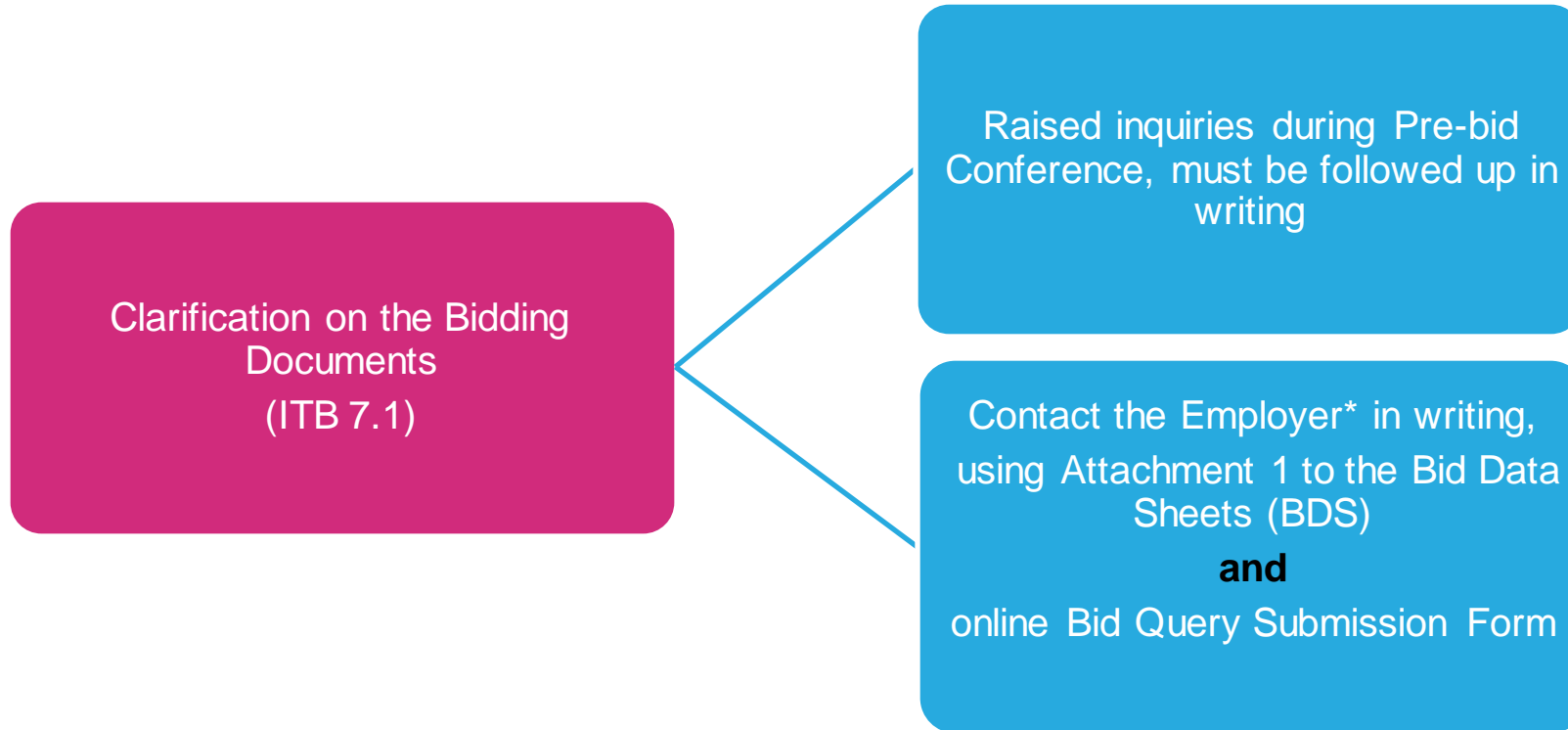
Alternate Representatives  
 (In the absence of the above-mentioned representatives):

No.	Name	Designation	e-Mail Address	Contact No.
1				
2				
3				
4				

# REQUESTS FOR BID CLARIFICATIONS



# Communication Protocol for Request-for-Clarification (RfC)



Attachment-1 to the Bid Data Sheet

Template for Clarification

SOUTH COMMUTER RAILWAY PROJECT CP S-04 BUILDING AND CIVIL ENGINEERING WORKS FOR APPROXIMATELY 8.5 KMS OF RAILWAY VIADUCT STRUCTURE INCLUDING ELEVATED STATIONS AT ALABANG AND MUNTINLUPA					
Name of Bidder	Prospective Bidder	[Insert name of prospective bidder.]			
Date	[Insert date of submission of queries/comments.]				
Item No.	Volume & Section No.	Page No.	Clause No./Title	Reference Text (if necessary)	Clarification Request

**Bid Query Submission Form**

<http://bitly.ws/9KUx>

**\* The submission shall be forwarded directly to PS-DBM, who will inform the Employer**

# Key Qualification & Criteria





# Key Qualification & Criteria (Financing Standing)

Key Qualification**		Criteria**	CP S-01	CP S-02
Financial Standing	Average Annual Construction Turnover	Bidder must have Average Annual Turnover of [Ref: Item 2.3.2] (in Million USD)	100	200
	Available Financial Resources	Bidder must have minimum available finances of [Ref: Item 2.3.3] (in Million USD)	20	35
	Experience Contracts of Similar Value	In the past ten years have substantially completed at least one project of [Ref: Item 2.4.1] (in Million USD)	110	260
	Bid Security	Bidder must be able to furnish a bank security [Ref: ITB 19.1] (in Million USD)	4	9

\* The Bidding Documents will prevail in case of any discrepancy between this Table and the Bidding Documents



# Key Qualification & Criteria (Specific Experience) (CP S-01 to 02)

Key Qualification**		Criteria**	CP S-01	CP S-02
Specific Experience	Steel Box Girder Bridge	Bidder must have experience of construction of steel box girder bridge using incremental launching method at least 50m length. *	✓	✓
	3-Span Balanced Cantilever Bridge	Bidder must have experience of construction of 3 span balanced cantilever bridge at least 150m length using traveler formwork. *	✓	✓
	Elevated Railway Station	Bidder must have experience of at least one project including an elevated railway station in an urban area.*	✓	✓
	Viaducts	Bidder must demonstrate he has experience of building Railway or Road viaducts of minimum of -- <b>km</b> using P.C. segmental span-by-span technique.*	2 km	4 km
	Land Transport Project	Bidder must have experience of constructing in close proximity to a live railway with necessary railway protection measures to safeguard the operation of the existing railway .*	✓	✓

\*Note – Refer Volume I, Part 1, Section 3, EQC Item 2.4.2;

\*\* The Bidding Documents will prevail in case of any discrepancy between this Table and the Bidding Documents



# Overview of Single-Stage One-Envelope Evaluation Criteria



# Overview of Single-Stage One-Envelope Evaluation Criteria

- ❑ The principle is that the lowest evaluated substantially responsive bid wins.
- ❑ **Multiple package Bid**
  - ❑ Bidders may bid a single package, or for any combination of packages. Discounts for multiple contracts may be offered by Bidders per package and may differ for different packages and package combination.
  - ❑ The Bidder is advised to note that the Employer is not obliged to accept the lowest or any of the Bids for the individual Packages. The Employer is at full liberty to achieve the **lowest possible cost combination** for Packages S-01 and S-02 in total after discounts.

	Bid Prices	
Bidders	CP S-01	CP S-02
A	70*	
B		90
C	90	95
C <sub>1</sub>	85	90
D	85	85*
D <sub>1</sub>	80	80

*Note: C<sub>1</sub> and D<sub>1</sub> are offered discounts for multiple package Bid*  
 \* = winning bids

**The lowest cost combination: A (CP S-01) and D (CP S-02)**

# Aggregated Requirements

- To be successfully awarded the contract for specific multiple Packages, the Bidder's capacity/capability, whether as a single entity or Joint Venture (JV) must meet the following aggregated requirements for the particular Packages under consideration:

No.	Factor	Requirement for Multiple Contracts
1	Average Annual Construction Turnover	Total of Aggregate amounts of each Package
2	Financial Resources	Total of Aggregate amounts of each Package
3	Equipment	Capability of Equipment intended to be mobilized at the Site shall be evaluated based on the proposed method statement with the proposed program
4	Personnel	Capability of mobilizing the key personnel for each individual package shall be evaluated.

For clarity, for a JV bidder to be able to win **multiple packages**, the One partner must have at least 40% x (**sum of required AACT the JV have submitted bids**); AND Each partner must have at least 10% x (**sum of required AACT the JV have submitted bids**); AND All Partners combined must show proof of at least 100% x (**sum of required AACT the JV have submitted bids**). The same aggregated requirement also applies for Financial Resources.



# Overview of Single-Stage One-Envelope Evaluation Criteria

❑ EACH of the below 4 Principal Aspect shall achieve an overall "Pass", i.e. 70%, assessment for the Bid to be considered as being substantially responsive:

## 1.2 Evaluation – Step 2 Detailed Evaluation of Technical Proposal

### 1.2.1 Method for Technical Evaluation

The completeness and responsiveness of the Technical Proposal will be determined by an evaluation of the information provided within the Bidders responses to Part II – Section 6 – “**The Employer’s Requirements**” that will result in the determination of a “Pass” or “Fail” outcome for the four Principle Aspects of the Project as listed below.

#### Overall Project Management

- Key Staff
- Management & Supervision
- Use & Reinstatement of the Site

#### Implementation Proposals (Method Statements)

- Overall Approach to the Project
- Bored Piling
- Box Girder Fabrication and Erection
- Viaduct Sub-Structure
- In-Situ Bridges
- Station Construction excluding Frame
- Station Frame
- Station Roof Structure and Covering
- Station Mechanical and Electrical Work
- Maintenance Requirements

#### Project Programme Considerations

- Programming Proposals
- Overall Mobilisation Plan
- Proposed Plant and Equipment

#### Project Administration Matters

- Quality Management Plan
- Safety Management Plan
- Environmental Management Plan
- Risk Management Plan
- Other Miscellaneous Information

## Submission Assessment

Rating	Submission Characteristics
Excellent 90-100%	The submission not only has no deficiencies, it offers additional benefits or added value for the scope, quality, or performance of the Works specified in the Bidding Document without limiting the Employer’s rights or the Bidder’s obligations. Sufficient supporting evidence has been provided or can be transparently requested from the bidder.
Good 80-89%	The submission has no deficiencies and is consistent with the scope, quality, or performance of the Works specified in the Bidding Document without limiting the Employer’s rights or the Bidder’s obligations. Sufficient supporting evidence has been provided or can be transparently requested from the bidder.
Acceptable 70-79%	(1) The submission has deficiency/ies but, if accepted, would not affect in any substantial way the scope, quality, or performance of the Works specified in the Bidding Document without limiting the Employer’s rights or the Bidder’s obligations, and (2) supporting evidence has been provided or can be transparently requested from the bidder.
Some Reservations 50%-69%	(1) The submission has deficiency/ies, if accepted, would have some impact on the scope, quality, or performance of the Works specified in the Bidding Document or it may limit Employer’s rights or the Bidders obligations, and (2) Insufficient supporting evidence has been provided or cannot be transparently requested from the bidder.
Serious Reservation 20%-49%	(1) The submission has deficiency/ies, if accepted, would have serious impact on the scope, quality, or performance of the Works specified in the Bidding Document or it may limit Employer’s rights or the Bidders obligations, and (2) No supporting evidence has been provided or cannot be transparently requested from the bidder.
Unacceptable 0%-19%	Does not meet the requirements. Does not comply and/or provides insufficient information to demonstrate that the bidder has the ability, understanding, experience, skills, resources and/or the quality measures required to deliver the Project on time.

# Checklist of Submittals to Accompany the Bid

❑ A Checklist is provided in **Section 4 Appendix 1** for submittals to accompany the Bid. Please note that the Bidder is requested to **cross refer this checklist to Section 3 – Evaluation and Qualification Criteria and Section 4 Bidding Forms** for the details required submissions

Bidding Document  
South Commuter Railway Project  
CP S-01 Building and Civil Engineering Works

Section 4  
Bidding Forms

**Appendix 1 – Checklist of Submittals to Accompany the Bid**

To facilitate ease of review, the Bidder is required to provide a schedule, similar to that set out below, indicating that the individual document has been checked and is included, giving the location (page numbers or references) of all the documents that are enclosed with the Bid.

The Bidder is requested to cross refer to Section 3 – Evaluation and Qualification Criteria and Section 4 – Bidding Forms for details of the required Sub-Criteria submissions to ensure completeness of its submission.

Document(s) Required	Bidder Check	Submission Document	
		Locator	Reference
<b>6 Technical Proposal (ITB 16)</b>			
(a) Key Personnel (Form PER-1 & PER-2)			
(b) Equipment to be Mobilized (Form EQU)			
<b>(c) Management &amp; Supervision - Site Organization</b>			
(d) Proposal for Use and Reinstatement of site and other areas			
(e) Implementation Proposals -Method Statements			
(f) Programing Proposals -Construction Schedule			
(g) Overall Mobilisation Plan			
(h) Quality Management			
(j) Environmental Management			
(k) Risk Management			
(l) BIM and CMMS Implementation			
(m) Project Insurance			
(n) Other Miscellaneous Information			

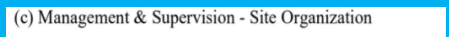
Bidding Document  
Malolos-Clark Railway Project (Blumentritt Extension)  
CP S-01 Viaduct Structure and 1 Station

Section 3  
Evaluation and Qualification Criteria

**1.2.3 Detail of the Required Submittal Coverage for Each of the Four Principal Aspects**

**1.2.3.1 Overall Project Management (Principal Aspect 1)**

1.2.3.1.2	<b>Management &amp; Supervision</b>	**	<b>Contractor's Site Organization of Technical Proposal</b> (1) Project Management Chart (2) Resource/Time Allocation Schedule for Management Personnel (3) Site Management Charts (4) Resource/Time Allocation Schedule for Site Management Personnel (5) Work Supervision Resources Chart (6) Resource/Time Allocation Schedule for Work Supervision	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
1.2.3.1.3	<b>Proposal for the use and Reinstatement of the Site and other areas</b>	*	<b>Use and Reinstatement of the Site and other areas</b> (1) Proposed Site Layout Plan (2) Layout of Fabrication Yard(s), Stockyard(s) and Warehousing (3) Proposed Labor Accommodation, Sanitary and Messing Facilities (4) Construction of Temporary Access and Haulage Roads (5) Proposals for Reinstatement of Site Areas following completion (6) Special considerations for working in tidal river environment (where applicable).	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>



# Common Bidding Mistakes and Pointers for Bidders





## ➤ Clarification of Bids

- ❑ **Scenario:** Clarification of Bid was sent to the Bidder during Bid Evaluation pursuant to ITB 27.1. The Bidder was given 3 days to provide their response. Bidder was only able to provide a response 15 days after.
- ❑ **Take Note:** Pursuant to ITB 27.2, If a Bidder does not provide clarifications of its Bid by the date and time set in the Employer's request for clarification, its Bid may be rejected.



*Bidder is reminded to provide responses to bid clarifications within the duration set by the Employer.*

## ➤ Clarification of Bids

- ❑ **Scenario:** Bidder was requested to clarify a possible missing document from their Bid, i.e. Proposals for O&M Manuals and As-Built Drawings. Bidder responded that they acknowledge that the document was not submitted together with their Bid, and they will submit in the event that they will be awarded the Contract.
- ❑ **Take Note:** Pursuant to ITB 29, the responsiveness of a Bid is to be determined **based solely on the contents of the Bid itself**. Also note that, Section 3 - 1.2.3 provides the Bidder the list and detail of the required submittal coverage for each of the four principal aspects.



*Failure to submit any of the submittals listed in the section will result to a rating of 0% for that specific item.*

## ➤ Clarification of Bids

- ❑ **Scenario:** Bidder was requested to clarify a possible missing document from their Bid, i.e. Proposals for the Use and Reinstatement of Site Areas. Bidder responded that they acknowledge that the document was not submitted together with their Bid, and submitted the said document together with their response.
- ❑ **Take Note:** *The responsiveness of a Bid is to be determined based solely on the contents of the Bid itself, as stated in ITB 29.*
- ❑ *Also, pursuant to ITB 27.1, no change in the prices or substance of the Bid shall be sought, offered, or permitted, except to confirm the correction of arithmetic errors discovered by the Employer in the evaluation of the Bids, in accordance to ITB 31.*



*Hence, the additional document submitted by the Bidder, will not be considered and evaluated.*

## ➤ Multiple Package Bid

❑ **Scenario:** Bidder is a Joint Venture of Company A, Company B and Company C. They are bidding for two packages. The required aggregated Annual Construction Turnover for two packages is as follows:

- ❑ Package 1: 180 Million USD
- ❑ Package 2: 270 Million USD
- ❑ **Combined: 450 Million USD**

The Bidder (JV ABC)	Bidder's Average Construction Turnover (Million USD)	Aggregated Requirement of Average Construction Turnover for Combined Package 1 and 2 in accordance with EQC 2.3.2			Meeting aggregated requirement for two packages?
		Combined (Million USD)	One Partner, at least 40%: (Million USD)	Each Partner (at least 10%: (Million USD)	
Company A	500		180		Yes
Company B	45			45	Yes
Company C	30			45	No
Combined:	575	450			Yes

❑ **Take Note:** Pursuant to EQC 1.4.3, Bidder bidding as Joint Venture in multiple packages shall take into consideration the compliance of **Each Partner** and One Partner with the aggregated requirements of average annual construction turnover (AACT) and financial resources as stated in EQC 2.3.2 and 2.3.3.



*The Bidder can bid for two packages, but can only be awarded one package because Company C fail to meet the aggregated requirement for AACT.*

## ➤ Key Dates and Bid Programme

- ❑ **Scenario:** Bidder submitted a Bid Programme with a different schedule from what was stated in the Bidding Documents.
- ❑ **Take Note:** Pursuant to ITB 13.1 and ITB 13.2, **Alternative Bids and Alternative times for completion shall not be permitted.** Bidder is reminded to use the Key Dates provided in Section 8 of the Bidding Document in their Bid Programme. For Bid Evaluation purposes, ALL Bids will be evaluated based on the stipulated Key Dates.



*Bidder shall follow the Key Dates specified in the Bidding Document.*

## ➤ Personnel Requirements

- ❑ **Scenario:** Three of the proposed Key Personnel of the Bidder did not meet the required qualifications under Section 4 of the Bidding Document.
- ❑ **Take Note:** *The evaluation shall be for the originally submitted Key Personnel only. Although the Contractor will be requested to provide replacement who can meet the requirements in the event of Contract Award, but no scores will be provided for the proposed replacement for bid evaluation purposes.*
- ❑ *The responsiveness of a Bid is to be determined based solely on the contents of the Bid itself, as stated in ITB 29.*



*Please be mindful on the requirement on each Key Personnel specified in the Bidding Document.*

## ➤ Bill of Quantities

- ❑ **Scenario:** The Bidder submitted Bill of Quantities with revised quantities on some line items.
- ❑ **Take Note:** *As stated in item no. 3 of the Preamble, the quantities given in the Bill of Quantities are given to provide a common basis for bidding for ALL Bidders. If the Bidder found discrepancies in the Bill of Quantities and Drawings, the Bidder may request for clarification from the Employer.*



*Bidder is reminded that for bid evaluation purposes, the reference will be the latest published Bill of Quantities.*

# Previously Asked Questions (PAQ)





# PAQ: Purchase of Bidding Documents

- **Q:** For a Bidder bidding as a Joint Venture which is not yet constituted, is the payment receipt required to be named after the JV?
- **A:** The payment receipt for the purchase of the Bidding Documents can be named to any partner of the JV which is yet to be constituted.

# PAQ: VISA Assistance

- **Q:** Pursuant to General Bid Bulletin No. 1 re: VISA assistance, are prospective Bidders guaranteed for entry to the Philippines if they submit their request letter?
- **A:** The visa assistance initiative by DOTr-PNR only aims to fast track a potential bidder's personnel's visa application. DOTr-PNR does not guarantee issuance of visa as this depends on DFA and the applicant. Follow ups may be done through the BAC Secretariat only.

# Construction Experience in Key Activities

- **Q:** Is similar work experience performed by an Integrated Joint Venture, of which the Bidder was part of, be acceptable to the Employer regardless of the Bidder's share in the said Integrated JV?
- **A:** Pursuant to EQC 2.4.2, if the Bidder's construction experience is a part of prior Joint Venture, only the Bidder's designated scope of works, under the contracts presented to satisfy the requirements stated in the EQC, shall be considered to meet this requirement.

# Construction Experience in Key Activities

- **Q:** Please clarify if the Experience in Key Activities can be complied by a nominated specialist subcontractor?
- **A:** Pursuant to EQC 2.4.2, this may be complied with by the Bidder or by Specialist Subcontractor. If Specialist Subcontractors are proposed by the Bidder for key activities, each Specialist Subcontractor must have experience in related key activity as a **single entity**.

If the key activity is to be undertaken by a Specialist Subcontractor, the Employer shall require evidence of the subcontracting agreement from the Bidder.

# PAQ: Bid Security

- **Q:** If a Joint Venture has not been legally constituted at the time of bidding, please clarify if the bidders shall furnish either one (1) Bid Security with the name of the JV with the total amount or two to three (2-3) Bid Securities separately based on share ratio of the JV members with the aggregate sum of the required amount.
- **A:** If the Joint Venture has not been legally constituted at the time of bidding, the bid security shall be in the name of **any** or **all of the Joint Venture partners**.  
The Employer will only accept a one (1) Bid Security pursuant to ITB 19.1 to 19.8

# PAQ: Bid Security

- **Q:** Please clarify whether the bid security shall be issued by a reputable bank which has a correspondent bank located within the Employer's country to make it enforceable.
- **A:** Pursuant to ITB 19.1, the Bid Security shall be, at the Bidder's option, in any of the following forms:
  - An unconditional bank guarantee
  - An irrevocable letter of credit
  - A cashier's check, or
  - SWIFT message in the form of MT760All from a **reputable source from an eligible country** as described in Section 5 (Eligible Countries)

# PAQ: Target Commencement Date

- **Q:** Can the Employer provide the target Commencement Date of the Project?
- **A:** DOTr-PNR targets the Commencement Date for packages CP S-01 by 4th Quarter of 2021 and CP S-02 by 2nd Quarter of 2022

# PAQ: Site Access and Right-of-Way Acquisition

- **Q:** Can the Employer give an update on the status of availability of site?
- **A:** DOTr-PNR is currently undertaking Right-of-Way acquisition, utility relocation, and resettlement activities for the entire alignment. Status of Land Availability Drawings, Land Handover dates pursuant to PCC 2.1, and other further details of Site Availability will be issued through an Addendum.

Related information to Right-of-Way acquisition may also be found on Vol. 2, Sec. 6 (Supplementary Information) of the Bidding Documents.



# PAQ: Bid Price

- **Q:** Please clarify the currency to be used for the contracts.
- **A:** As stated in BDS 15.1, the unit rates and the prices shall be quoted by the Bidder in the Price Schedule separately in the following currencies:
  - (i) For those inputs to the Works that the Bidder expects to supply from within the Employer's country, in Philippine Peso (PHP)
  - (ii) For those input to the Works that the Bidder expects to supply from the outside the Employer's country in up to any three (3) foreign currencies

# PAQ: Fabrication/Casting Yard

- **Q:** Would the Employer provide fabrication yard for the Contractors?
- **A:** The Contractor shall be responsible for sourcing and procuring all land necessary for the provision of various temporary facilities that will be required throughout the duration of the project.

Some plots of land adjacent to the Project alignment has been identified by the Employer as potentially available and these are published under Site Data. This information is made available for reference only and the availability of such land is not warranted. The Contractor should visit, inspect the area and assess the suitability and availability of the area if he wishes to do so. The Contractor shall directly discuss and negotiate with the land owner(s)

# PAQ: Value Engineering

- **Q:** Would DOTr allow changes from the contractor based on Value Engineering especially on viaducts?
- **A:** The standard provisions on variations and value engineering under the Pink Book will apply.

# Disclaimer

- ITB 6.4  
*“The Bidder is expected to examine all instructions, forms, terms, and specifications in the Bidding Documents, and to furnish with its Bid all information and documentation as is required by the Bidding Documents”*
- Any statement made at the Pre-Bid Conference does not modify the terms of the Bidding Documents, unless such statement is specifically identified in writing as an official Addendum through a Bid Bulletin.
- The Pre-Bid Conference is also an opportunity for the prospective Bidders to request for clarifications about the Bidding Documents. However, such request must be followed up in writing and BAC will respond in writing by issuing Bid Bulletins uploaded to the websites of PS-DBM, DOTr and PNR as follows:

[www.ps-philgeps.gov.ph](http://www.ps-philgeps.gov.ph)

[www.dotr.gov.ph](http://www.dotr.gov.ph)

[www.pnr.gov.ph](http://www.pnr.gov.ph)

# Q & A Session

